

CHAPTER 4

ARCHITECTURAL AND DESIGN GUIDELINES

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4.00.00 GENERALLY

To provide a built environment that works to moderate the tropical climate, define public space, create a relationship to the street at human scale and clearly establish an identity for the neighborhood, development shall conform to Florida vernacular architectural styles. Elements of Florida vernacular architectural style presented here were selected among historic design features of the Florida building traditions, such as pastel colors, porches and multi-pitched roof lines, and elements intended to moderate the Town's subtropical climate. These criteria are presented as a set of minimum standards and are not intended to limit innovative and creative adaptations of the Florida vernacular style.

4.01.00 PALETTE OF STREET TYPES

Development under this ULDC is regulated by street type. The three street types – Scenic Highway, Town Center Street and Neighborhood Street – are related to each other in a hierarchical manner. When these spaces intersect, the primary street frontage is determined by its higher order in the hierarchy. The front of a building and its main entrance must face the primary street frontage.

4.01.01 Scenic Highway

This category of street type shall consist solely of that portion of State Road A1A existing within the Town.

A. Building Placement

Build-to-line location: 0-10 ft. from property line

B. Building Volume

1. Building width: 16 ft. minimum, 160 ft. maximum
2. Building depth: 125 ft. maximum
3. Building height: 2 stories minimum, 3 stories maximum above parking. Height must not exceed 55 feet. The first floor shall be a minimum of 12 ft. in height.

C. Other Standards

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to provide shelter to the sidewalk by means of at least one of the following: arcade, colonnade, marquee, awning or second-floor balcony.
3. Sidewalk may be a maximum of 12 ft. wide including tree wells. 6 ft. wide sidewalks with 6 ft. wide xeriscaped strips are also acceptable. If the latter option is implemented, trees should be located within the xeriscaped strip rather than within sidewalk tree wells.

Table 4.01.01: Scenic Highway

	6'	6'	12'	12'	6'	6'	
Building	Sidewalk	Optional Xeriscaped Strip	⇓	⇑	Optional Xeriscaped Strip	Sidewalk	Building

4.01.02 Town Center Street

This category of street type shall feature parallel or diagonal parking and wide sidewalks on both sides of the street in order to create a safe, inviting place for pedestrians and motorists.

A. Building Placement

1. Build-to-line location: 0 ft. from property line
2. Space between buildings: 0 ft. if attached, 6-10 ft. if detached

B. Building Volume

1. Building width: 16 ft. minimum, 160 ft. maximum
2. Building depth: 125 ft. maximum
3. Building height: 2 stories minimum, 3 stories maximum. Height must not exceed 55 feet. The first floor shall be a minimum of 12 ft. in height.

C. Other Standards

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to provide shelter to the sidewalk by means of at least one of the following: arcade, colonnade, marquee, awning or second-floor balcony.
3. Sidewalk may be a maximum of 12 ft. wide including tree wells. 6 ft. wide sidewalks with 6 ft. wide xeriscaped strips are also acceptable. If the latter option is implemented, trees should be located within the xeriscaped strip rather than within sidewalk tree wells.

Table 4.01.02(a): Town Center Street Option No. 1 with Parallel Parking

	6'	6'	7'	10'	10'	7'	6'	6'	
Building	Sidewalk	Optional Xeriscaped Strip	Parking	⇓	⇑	Parking	Optional Xeriscaped Strip	Sidewalk	Building

Table 4.01.02(b): Town Center Street Option No. 2 with Diagonal Parking

	6'	6'	18'	12'	12'	18'	6'	6'	
Building	Sidewalk	Optional Xeriscaped Strip	Parking	⇓	⇑	Parking	Optional Xeriscaped Strip	Sidewalk	Building

4.01.03 Neighborhood Street

The neighborhood street is used primarily in residential areas. On-street parking is located on one side.

A. Building Placement

1. Build-to-line location: 10 ft. from property line
2. Space between buildings: 0 ft. if attached, 6-15 ft. if detached

B. Building Volume

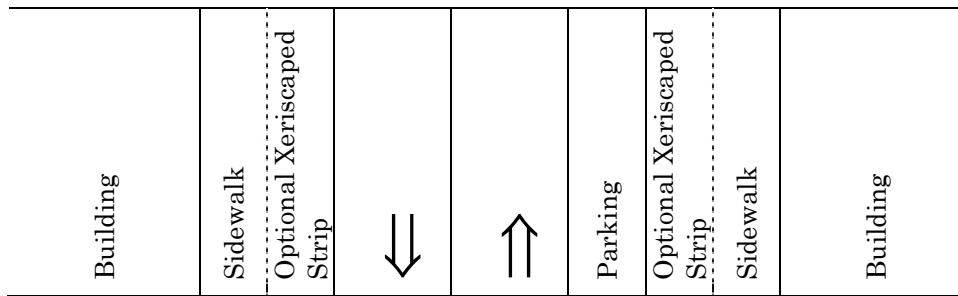
1. Building width: 16 ft. minimum, 160 ft. maximum
2. Building depth: 125 ft. maximum
3. Building height: 2 stories minimum, 3 stories maximum above parking. Height must not exceed 55 feet.

C. Other Standards

1. Appurtenances may extend beyond the height limit.
2. Parallel parking is permitted on one side of the street.
3. Sidewalk may be a maximum of 12 ft. wide including tree wells. 6 ft. wide sidewalks with 6 ft. wide xeriscaped strips are also acceptable. If the latter option is implemented, trees should be located within the xeriscaped strip rather than within sidewalk tree wells.

Table 4.01.03: Neighborhood Street (note parking may be on either side)

	6'	6'	10'	10'	7'	6'	6'	
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4.01.04 Other Requirements

A. Maximum Block Size.

The maximum perimeter of any block shall be no more than 1,600 ft. The minimum dimension of each block face shall be no more than 500 ft. Pedestrian passages leading from the street to the middle of the block shall be provided at intervals no greater than 250 ft.

B. Alleys.

Alleys are required to minimize curb cuts and to provide access to parking and service areas behind buildings. Alley locations and dimensions are not fixed but shall be designed to accommodate the alley’s purpose.

C. Side and Rear Setbacks.

No side or rear setbacks are required by the ULDC with the exception of riparian/littoral setbacks (see Section 3.01.04). See Section 4.01, Palette of Street Types, in this ULDC for rules regarding spacing between buildings.

D. First Floor Height for Residential.

Residential uses on the first story shall have finished floor height raised a minimum of two (2) feet above sidewalk grade.

E. Mixed Use Development Projects

1. Maximum building height shall be as provided in Section 4.01, Palette of Street Types. Taller buildings within any project shall provide a step-down from taller buildings to shorter buildings to provide height transition between buildings on-site and adjacent land uses as applicable.

- a. Structures along the boundary of a project shall not exceed one and a half (1½) times the height of any single-family detached unit within twenty-five (25) feet of the mixed use project site.
- b. Structures along the boundary of a project shall not exceed two and a half (2½) times the height of any other single-family detached unit within fifty (50) feet of the mixed use project site.

2. Massing.

- a. All buildings over 50,000 square feet shall be multi-story buildings.
- b. Buildings over 50,000 square feet in area shall use architectural features to create a sense of scale that is compatible with adjacent land uses. These features shall include:
 - c. Clear, un-tinted windows along the building façade located at intervals of not more than (twenty) 20 feet;

- d. Covered entrances; and
- e. Use of building materials and architectural details to create visual interest for each 100 feet of building frontage.
- f. Visual interest may also be created through the use of:
- g. Staggered frontage of the building
- h. Recessed doors and windows
- i. Awnings or canopies
- j. Varied facades from building to building along the street frontage

4.02.00 SPECIFIC OUTDOOR APPLIANCES AND ARCHITECTURAL ELEMENTS

4.02.01 Elements to be Located to the Side or Rear of Buildings

The following shall be located to the side or rear of buildings, not facing the street:

- A. Window and wall air conditioners
- B. Electrical utility meters
- C. Air conditioning compressors
- D. Irrigation and pool pumps
- E. Antennas
- F. Permanent barbecues
- G. Satellite dish antennas

4.02.02 Prohibited Elements

The following are prohibited:

- A. Undersized shutters (the shutter or shutters must be sized so as to equal the width that would be required to cover the window opening)
- B. Plastic or inoperable shutters
- C. Clotheslines
- D. Clothes-drying yards
- E. Reflective and/or bronze-tint glass
- F. Plastic or PVC roof tiles
- G. Backlit awnings
- H. Glossy-finish awnings
- I. Fences made of chain link, barbed wire or plain wire mesh

4.03.00 BUILDING WALLS

4.03.01 Permitted Finish Materials

- A. Cedar or cypress wood siding (termite resistant), or material that gives the appearance of wood siding.
- B. Material that gives the appearance of coquina.
- C. Brick or materials that have the appearance of brick.
- D. Horizontally struck stucco.
- E. Exterior insulated finish system stucco panels, board and batten.

4.03.02 Exterior Coloring

- A. The predominant exterior color shall be pastel shades or white. Earth tones are not acceptable except in brick or wood, which may be left unpainted. The predominant exterior color shall be applied to all sides of the structure.
- B. Trim colors shall be white or light pastels. Trim finishes shall be of a contrasting lighter color than that of the primary building color with the exception of white as a primary building color.

4.04.00 FAÇADES AND OPACITY

The following requirements apply to facades and opacity:

- A. There shall exist no area greater than 400 square feet of contiguous blank wall area on any front façade that remains unadorned by architectural features that include, but are not limited to, windows, doors, lights, banding trim or porch element. Any unadorned area over 400 square feet in size must have design elements to relieve the area such as porches, pilasters, exterior lighting, material or elevation changes, planters and/or spandrel glass windows.
- B. Each floor of any building façade facing a park, square or street shall contain transparent windows covering from 15% to 70% of the wall area.
- C. Retail storefront areas only: In order to provide clear views of merchandise in stores and to provide natural surveillance of exterior street spaces, the ground floor along the building frontage shall have transparent storefront windows covering no less than 50% of the wall area. Storefronts facing the Town Center Street, parks and squares shall remain unshuttered at night and shall use transparent glazing material, and shall provide view of interior spaces lit from within. Doors or entrances with public access shall be provided at intervals no greater than 50 feet, unless otherwise approved by staff.
- D. Loading docks, overhead doors and service entries are prohibited on street façades.

4.05.00 PROJECTING FAÇADE ELEMENTS

4.05.01 Generally

- A. Gingerbread trim and/or porch railings, columns or posts shall have the appearance of light frame wood construction.
- B. Columns shall be spaced no farther apart than they are tall.
- C. Porches shall have wood or the appearance of light framed wood columns and railings. Vinyl or metal elements are acceptable provided these materials are appropriately scaled to give the appearance of a wood structure. Exposed lookout beams shall also have suitable finishes compatible with the porch and other building elements.
- D. Railings and balustrades shall have the appearance of wood pickets or ornamental turned or sawn posts and be secured to vertical support columns made from suitable materials such as wood, metal or other

structural materials. The design, ornamentation and finish color of the railing shall be sympathetic to the overall design of the structure. Lattice as a railing element is not acceptable.

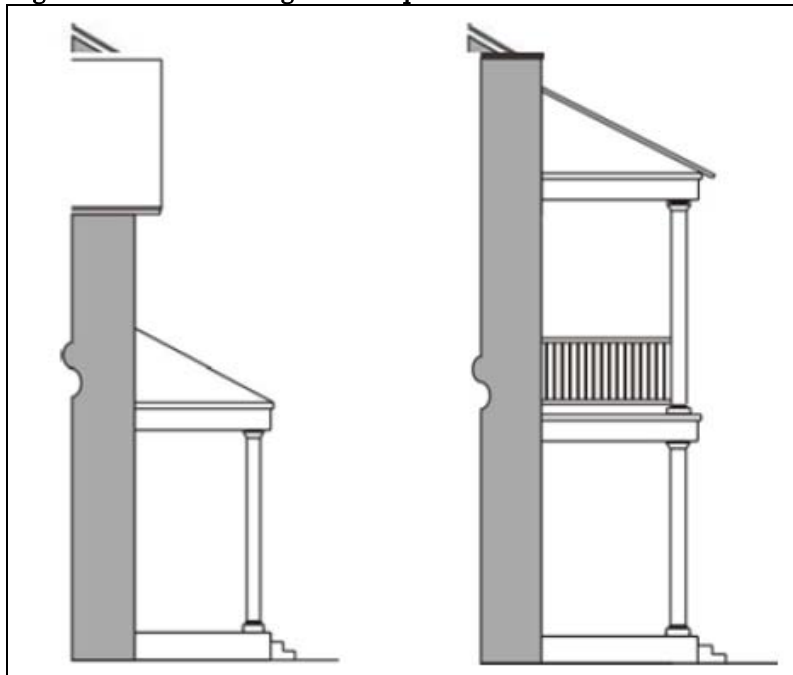
- E. Trim is required for all porch facades. The trim shall have the appearance of decorative wood elements and shall be secured to the support beams and/or columns. Trim shall be constructed from wood, metal or other suitable materials. The design and finish color shall be sympathetic to the overall design of the structure. Decorative trim work shall have a color that differs from the main color of the structure.

4.05.02 Awnings and Marquees

The following requirements apply to first-floor awnings. There are no minimum requirements for awnings above the first floor.

- A. Dimensional requirements:
1. Depth = 5 ft. minimum
 2. Height = 10 ft. minimum clear
 3. Length = 25% - 100% of building front
- B. Marquees and awnings shall occur forward of the build-to line and may encroach within the right-of-way, but shall not extend past the curb line.
- C. Awnings shall be made of fabric. High-gloss or plasticized fabrics are prohibited.

Figure 4.05.02: Awnings & Marquees

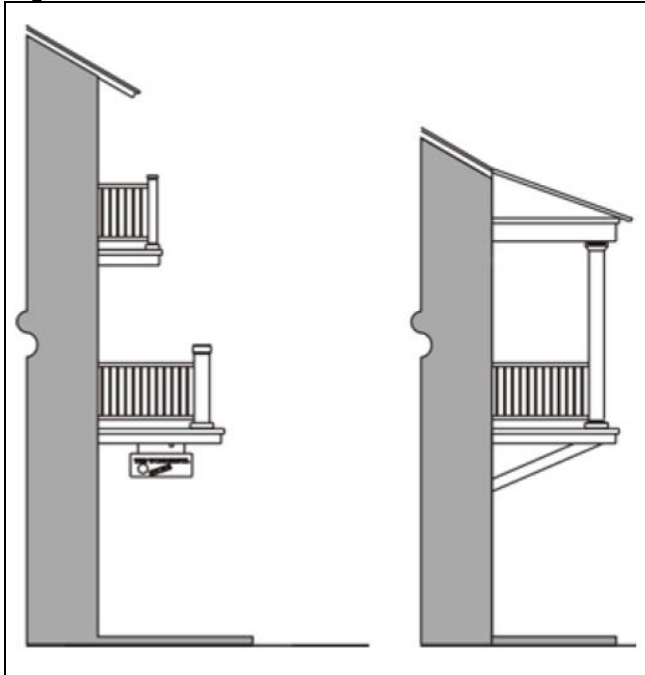


4.05.03 Balconies

- A. Dimensional requirements:
1. Depth = 6 ft minimum for second-floor balconies
 2. Height = 10 ft. minimum clear
 3. Length = 25% - 100% of building front

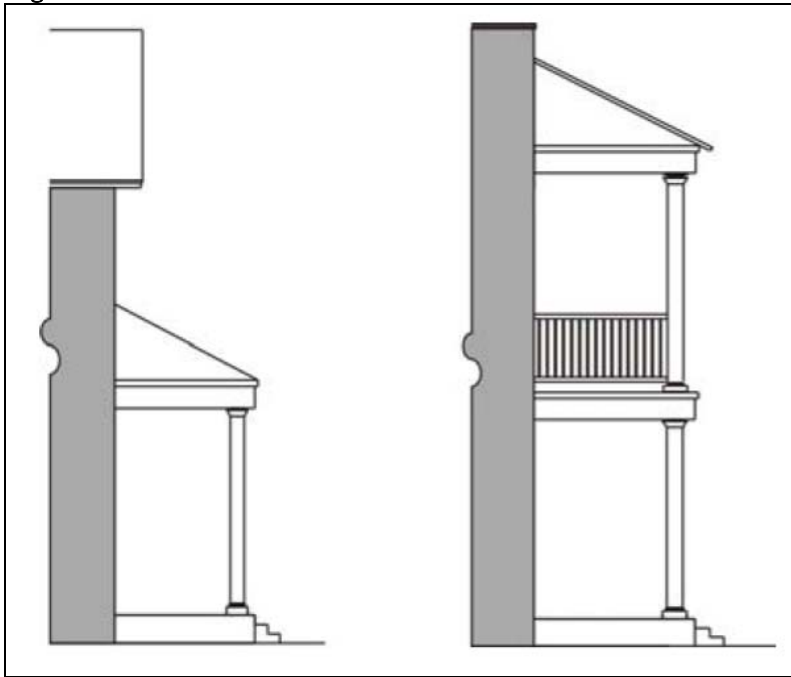
- B. Balconies shall occur forward of the build-to line and may encroach within the right-of-way, but shall not extend pas the curb line.
- C. Balconies may have roofs, but must be open, un-air-conditioned parts of the buildings.
- D. On corners, balconies may wrap around the side of the building facing the side street.

Figure 4.05.03: Balconies

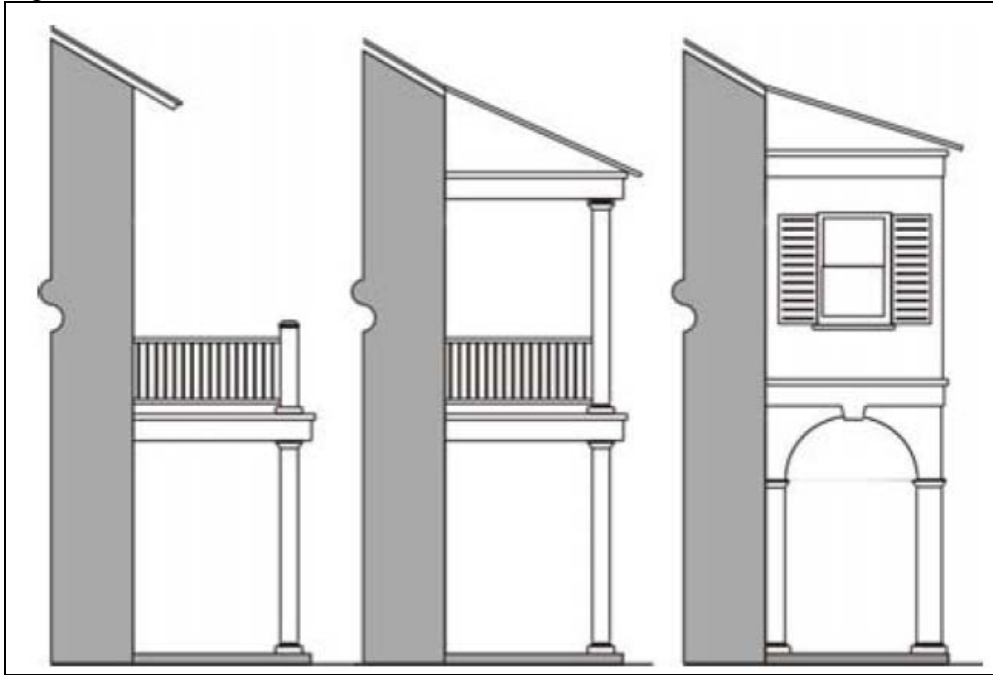


4.05.04 Front Porches

- A. Dimensional requirements:
 - 1. Depth = 5 ft minimum
 - 2. Length = 51% - 100% of building front
- B. Front porches may have multi-story verandas and/or balconies above.
- C. Front porches shall be forward of the build-to line but shall not extend into the right-of-way.
- D. Front porches must be open, un-air-conditioned parts of the buildings. No more than 75% of the floor area of a porch shall be screened if the porch extends forward of the build-to line.

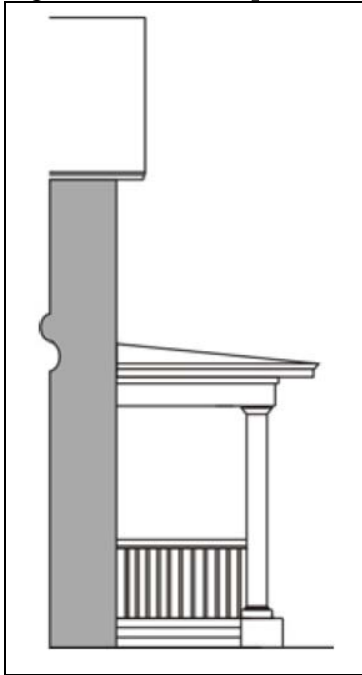
Figure 4.05.04: Front Porches**4.05.05 Colonnades/Arcades**

- A. Dimensional requirements:
 - 1. Depth = 8 ft. minimum from the build-to line to the inside column fence
 - 2. Height = 10 ft. minimum clear
 - 3. Length = 75% - 100% of building front
- B. Columns shall be a maximum of 6-inch wide in front of shop-front windows.
- C. Open multi-story verandas, awnings, balconies and enclosed useable space shall be permitted above the colonnade.
- D. Colonnades shall only be constructed where the minimum depth can be obtained. Colonnades shall occur forward of the build-to line and may encroach within the right-of-way, but shall not extend past the curb line.
- E. On corners, colonnades may wrap around the side of the building facing the side street.

Figure 4.05.05: Colonnades/Arcades**4.05.06 Stoops****A. Dimensional requirements:**

1. Depth = 6 ft. minimum
2. Length = 5 ft. minimum

- B.** Stoops are permitted and may occur forward of the build-to line. Stoops may encroach within the right-of-way with approval from staff. Sidewalks shall have clear access for pedestrians. Stoops may be covered or uncovered.

Figure 4.05.06: Stoops

4.06.00 ROOFS, WINDOWS AND SKYLIGHTS

4.06.01 Roofs

- A. A metal panel 5-seam or metal shake roof is acceptable. A 5-tab twenty-five (25) year dimensional shingle roof or manufactured equivalent of a wood shake roof is acceptable. 3-tab shingles, barrel vaulted tiles or corrugated roof systems are not permissible.
- B. Pitch of main roof, hipped or gable, shall be no greater than 5:12; mansard roof shall be no greater than 9:12; porch roof shall be a lower pitch than main roof.
- C. A minimum 6" overhang is required for any roof structure.
- D. All structures must have a minimum 3:12 slope roof.
- E. Multiple roof systems with matching roof slopes are permissible. Multiple sloped roofs shall be designed so that the upper slope(s) shall be greater than or equal to the lower slope(s).
- F. Low slopes ("Flat") roof systems are permissible when screened by a mansard roof.
- G. A parapet wall, where part of the exterior wall is exposed above the front porch roof line, is not a typical design element used in Florida Vernacular construction and is thus prohibited. Suitable solutions for a parapet wall are a wall cap or a mansard roof. The cap or roof shall be complementary to the overall design intent of the building.
- H. Metal roof finishes shall have a Galvalume, Kynar 500 or equivalent finish.

4.06.02 Windows

- A. Each floor of any building façade facing a park, square or street shall contain transparent windows covering from 15% to 70% of the wall area.
- B. Windows must be rectangular or square in shape.

4.06.03 Skylights

Skylights should be flat to the pitch of the roof.

4.07.00 GARDEN WALLS, FENCES AND HEDGES

4.07.01 CPTED Requirement

Any fences, garden walls or hedges must be minimum 30% opaque and compliant with the principles of Crime Prevention Through Environmental Design (CPTED) as set forth in Section 5.01.04(H).

4.07.02 Maximum and Minimum Height

All fences, hedges or walls erected, placed or altered shall conform to the following regulations.

Table 4.07.02: Fences, Hedges, and Walls.

	Residential	Non-Residential
Yards:	Maximum Height	Maximum Height
Front	4 ft.	4 ft.
Rear and side	8 ft.	8 ft.
Materials	<ul style="list-style-type: none"> ▪ Open wire fabric ▪ Wood, open picket design ▪ Rot & termite resistive 	Open weave construction

4.08.00 STREET FURNITURE

Street furniture includes benches, trash receptacles, street signs and traffic lights. Benches and trash receptacles shall be provided on Town Center Street at intervals no greater than 200 feet. Street furniture shall be located so as to maintain a clear pedestrian path and shall be placed within 6 feet of the curb. Benches may also be placed at the rear of the sidewalk within 3 feet of the right-of-way line. Benches with backs shall be oriented to face the street. Street furniture shall be made of metal painted with a black finish and/or wood with a natural finish. Street furniture shall be consistent in color and style along both sides of any street.

4.09.00 REQUIREMENTS FOR UTILITIES, POTABLE WATER, SANITARY SEWER, AND RECLAIMED WATER

All new utilities shall be placed underground in all streets within the Town or in rear service alleys.

4.09.01 Requirements for Potable Water

- A. All development shall be properly connected with a community or public water supply system that is adequate for both domestic use and fire protection.

B. Water supply systems

1. The sizes of water mains, the location and types of valves and hydrants, the amount of soil cover over the pipes, and other features of the installation shall conform to the specifications of the American Water Works Association.
2. The size of water mains may be enlarged to provide future service for other development. The initial cost of oversizing will be borne by the applicant.
3. Crossing of existing paved streets shall be bored, unless otherwise directed by the Town.

4.09.02 Requirements for Sanitary Sewer

- A. All development shall be connected to a public sanitary sewer system.
- B. If a sanitary sewer pumping station exists in an area to be developed, the developer will be charged the prorated cost of the pumping station or will defray the cost of enlarging the station as required to handle the additional sewage flow.

4.09.03 Requirements for Reclaimed Water Systems

All subdivisions shall include reclaimed water irrigation systems including storage, pumping, and distribution improvements in compliance with FDEP regulations.

4.10.00 PARKING**4.10.01 Generally**

- A. The intent of these parking regulations is to encourage a balance between compact pedestrian-oriented development and necessary car storage. The goal is to construct neither more nor less parking than is needed.
- B. Parking need not be contiguous with the building or the use it serves.
- C. Parking shall be provided as necessary to meet the requirements of the Americans with Disabilities Act.
- D. Parking shall not be provided in excess of 115% of the minimum requirements.

4.10.02 Minimum Requirements

- A. Minimum parking requirements are as follows:
 1. Single and two-family dwellings: 1.5 spaces / dwelling unit
 2. Multifamily dwellings: 1 space / dwelling unit
 3. Retail: 1 space / 400 sf gross leasable floor area
 4. Office: 1 space / 300 sf of gross floor area
 5. Institutional uses such as rest homes and nursing homes: 1 space / two beds
 6. Place of public assembly such as auditoriums and theaters: 1 space / each 5 seats
 7. Clubs, lodges, dance, art and music studios and other similar semi-public uses: 1 space / 300 sf gross floor area.
 8. Hotels and motels: 1 space / sleeping room

9. Restaurant/bar uses: 1 space / 150 sf seating area
 10. All other commercial uses: 1 space / 300 sf gross floor area
- B. Minimum parking space dimensions for head-in or diagonal parking shall be 9 ft. x 18 ft. with 12-ft drive lanes (20 ft. for two-way traffic) and parallel parking spaces shall be 6 ft. x 20 ft. minimum with 10-foot drive lanes (20 ft. for two-way traffic).
- C. Shared parking solutions are encouraged. Required parking minimums can be reduced by up to 50% with a shared parking solution approved by the Local Planning Agency. The applicant shall provide a parking analysis justifying the proposed parking solution.

4.10.03 On-Street Parking

On-street parking should be provided for along town center streets and neighborhood streets. The selection of diagonal or parallel parking along any section of road shall be determined in consultation with the Mayor.

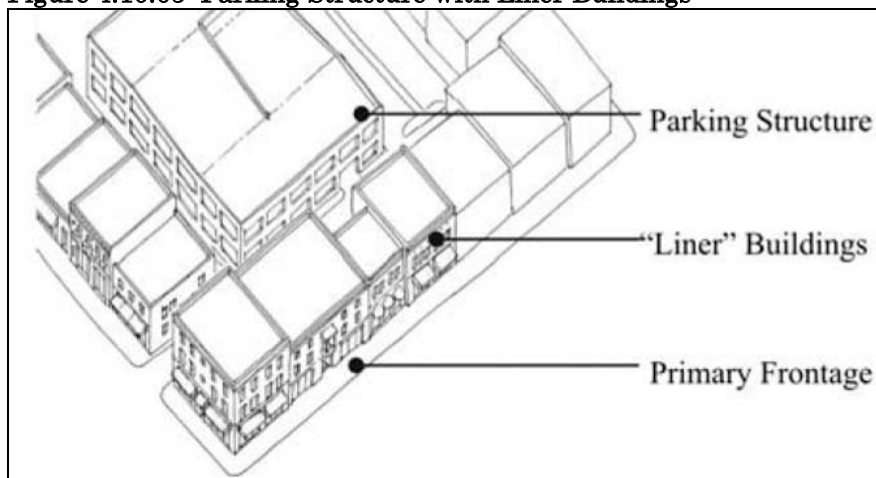
4.10.04 Off-Street Surface Parking Lot Placement

Off-street surface parking lots shall be set back a minimum of 50 feet from the property line along all streets. The Local Planning Agency shall have discretion to make this requirement applicable elsewhere on prominent frontages, such as along key pedestrian connections, within significant vistas, and within important public spaces. Outbuildings serving as garages facing alleys shall be permitted within this setback. Surface parking lots may be built up to the property line on all other street frontages.

4.10.05 Structured Parking Lot Placement

Parking structures shall be set back a minimum of 50 feet from the property lines of all adjacent streets to reserve room for Liner Buildings between parking structures and the lot frontage. The Liner Building shall be no less than two stories in height. Liner Buildings may be detached from or attached to parking structures.

Figure 4.10.05: Parking Structure with Liner Buildings



4.10.06 Access to Off-Street Parking

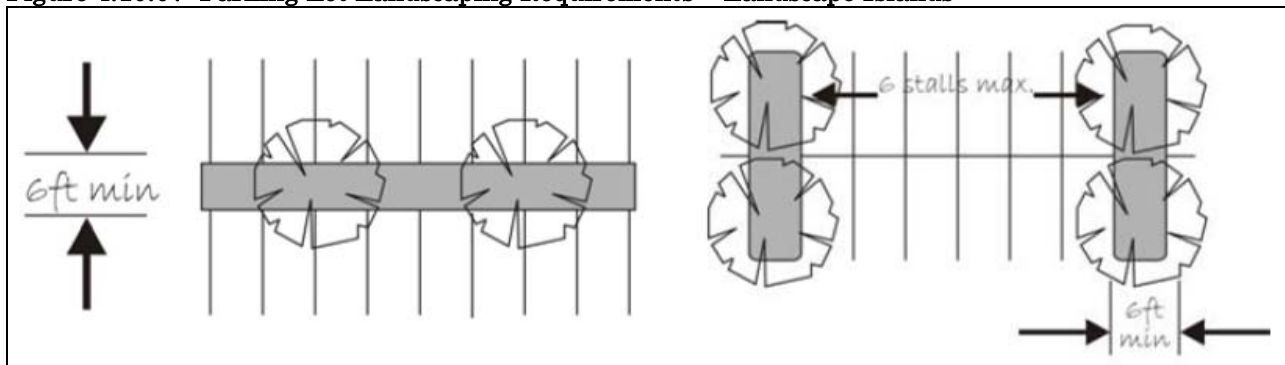
- A. Alleys shall be the primary source of access to off-street parking. Parking along alleys may be head-in, diagonal, or parallel.

- B. Alleys may be incorporated into parking lots as standard drive aisles. Access to all properties adjacent to the alley shall be maintained. Access between parking lots across property lines is also encouraged.
- C. Circular drives are prohibited except for civic buildings.
- D. Garage door(s) shall be positioned no closer to streets, squares, or parks than 20 feet behind the principal plane of the building frontage. Garage doors facing streets, squares, or parks shall not exceed 10 feet in width. When possible, garage doors will face alleys.

4.10.07 Parking Lot Landscaping Requirements

- A. Landscape strips of at least six feet in width shall be provided between parking aisles of either head-in or diagonal parking. Tree spacing, shrubs, and groundcover in parking lots shall be consistent with the provisions of Section 3.05 of this ULDC. The objective is to maximize shade canopy.
- B. Low impact development techniques should be employed, such as porous pavement materials.
- C. In lieu of landscape strips, landscape islands can be provided. No more than six (6) consecutive parking stalls are permitted without a landscape island at least six (6) feet wide and extending the entire length of the parking stall. A minimum of one tree and a combination of shrubs and/or ground cover shall be planted in each landscape island.

Figure 4.10.07: Parking Lot Landscaping Requirements – Landscape Islands



4.10.08 Temporary/Special Event Parking

Outdoor Special Events that will involve Town property and rights of way shall be approved by the Town and based on the anticipated attendance at the event shall include provisions for adequate traffic control, temporary parking, temporary toilet facilities, management of litter, garbage and recycling, on-site security, and special event insurance coverage naming the Town as a co-insured.

4.11.00 EXCEPTIONS FROM BUILD-TO LINES

4.11.01 Trees

Exceptions from Build-to Lines may be granted by the Local Planning Authority to avoid trees with calipers greater than eight (8) inches.

4.11.02 (Reserved)